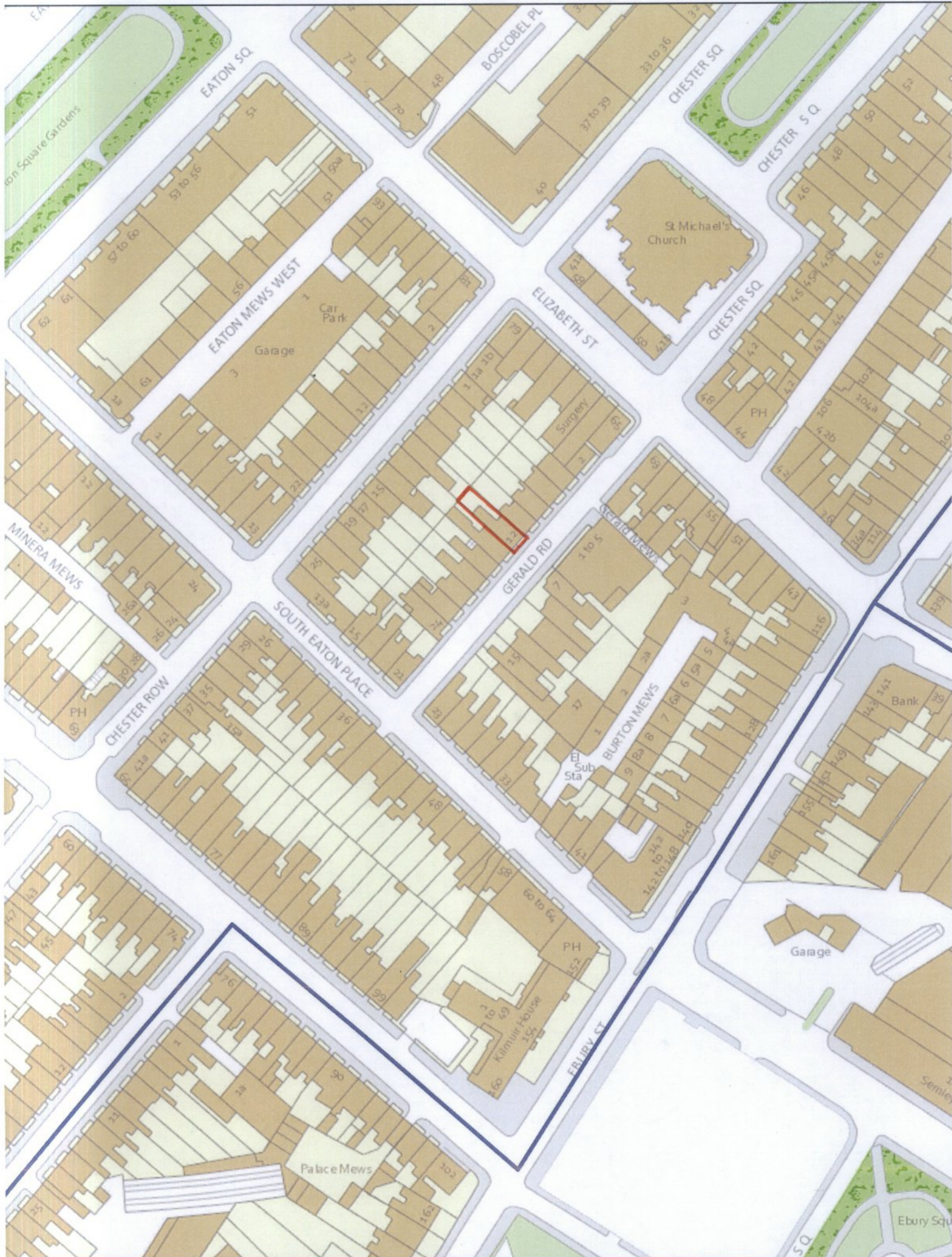


CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 22 September 2015	Classification For General Release	
Report of Director of Planning	Wards involved Knightsbridge And Belgravia		
Subject of Report	12 Gerald Road, London, SW1W 9EQ		
Proposal	Excavation to create basement extension beneath dwelling and rear garden, excavation to lower front pavement vaults, demolition and rebuilding of single storey rear extension, construction of new double height glass conservatory extension at the rear, two new dormer windows to front roof elevation.		
Agent	Mr Rabih Hage		
On behalf of	12 Gerald Road Ltd		
Registered Number	15/01803/FULL 15/01804/LBC	TP / PP No	TP/17624
Date of Application	25.02.2015	Date amended/ completed	17.03.2015
Category of Application	Other		
Historic Building Grade	Grade II Listed Building		
Conservation Area	Belgravia		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

1. Grant conditional permission and conditional listed building consent.
2. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter.





12 GERALD ROAD, SW1

2. SUMMARY

No. 12 Gerald Road is a single family dwelling comprising of lower ground to third floor level. The building is Grade II listed and within the Belgravia Conservation Area.

Permission is sought for the excavation to create a basement extension beneath the dwellinghouse and rear garden, excavation to lower the front pavement vaults, demolition and rebuilding of single storey rear extension, construction of new double height glass conservatory extension at the rear and two new dormer windows to front roof elevation.

The key issues in this case are:

- The impact on residential amenity.
- The impact on the listed building and the character and appearance of the Belgravia Conservation Area.

The proposals are considered to comply with the Council's policies in relation to listed buildings, design and conservation and amenity as set out in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies (the City Plan) and the applications are accordingly recommended for approval.

3. CONSULTATIONS

HISTORIC ENGLAND

Authorisation dated 20 April 2015 allowing the City Council to determine the application as seen fit.

BELGRAVIA RESIDENTS ASSOCIATION

Any comments to be reported verbally.

HIGHWAYS PLANNING MANAGER

No objection.

BUILDING CONTROL

Structural method statement is considered to be satisfactory.

ENVIRONMENTAL HEALTH

No objection.

ARBORICULTURAL MANAGER

No objection.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 23; Total No. of Replies: 7.

Amenity

- Loss of garden.
- No noise emitting equipment to be fixed to neighbouring properties.
- Double height conservatory would cause light pollution.
- Ensure replacement trees and garden provided.

Design

- Houses already have basements and development should be of a moderate scale.
- Impact of basement extension on listed building.
- Extent of basement extension under garden.

Other

- Noise disruption during building works.
- Structural damage to adjoining properties.
- Applicant should satisfy WCC and Grosvenor of their intentions not to develop the home and sell it on but continue to use it as a home.

ADVERTISEMENT/SITE NOTICE: Yes.

4. BACKGROUND INFORMATION

4.1 The Application Site

12 Gerald Road is a five storey building (including lower ground floor level) single family dwelling. The building is Grade II listed and within the Belgravia Conservation Area.

4.2 Relevant History

Permission and listed building consent were granted in 2013 for the excavation of one front pavement vault to provide a new shower room, and connection to main house via lobbied entrance at lower ground floor level. Demolition and rebuilding of existing single storey rear extension, construction of new double height rear conservatory-style extension and construction of two new dormer windows to front roof elevation and internal alterations (12/12321/FULL and 12/12322/LBC). (Not implemented).

5. THE PROPOSAL

Planning permission and listed building consent are sought for excavation works to create a basement extension beneath the dwelling and rear garden; excavation to lower front pavement vaults, demolition and rebuilding of single storey rear extension, construction of new double height glass conservatory extension at the rear and installation of two new dormer windows to front roof elevation.

6. DETAILED CONSIDERATIONS

6.1 Land Use

The proposed works seek to provide additional residential accommodation to the existing dwellinghouse.

6.2 Townscape and Design

Basement extension and lowering of front basement vaults

The proposed basement extension is a single storey extension which is beneath the main house and rear garden area. The basement extension will provide a gym, playroom, living room and bathroom and utility area. The extent and depth of the basement extension has been modified to reduce the depth of excavation under the main house. The proposed basement extension does not exceed the floor to ceiling height of the lower ground floor level and maintains the internal hierarchy of the listed building. It is proposed to install external walk on rooflights within the rear lower ground garden area which will be set against the building

line and provide some natural light to the new floorspace below. In design and listed building terms, the proposed basement extension is considered acceptable in design terms. With regard to the construction of the basement itself, the applicant has provided a structural engineer's report explaining the likely methodology of excavation. Any report by a member of the relevant professional institution carries a duty of care which should be sufficient to demonstrate that the matter has been properly considered at this early stage.

The purpose of such a report at the planning application stage is to demonstrate that a subterranean development can be constructed on the particular site having regard to the site, existing structural conditions and geology. It does not prescribe the engineering techniques that must be used during construction which may need to be altered once the excavation has occurred. The structural integrity of the development during the construction is not controlled through the planning system but through Building Regulations and the Party Wall Act.

This report has been considered by our Building Control officers who advised that the structural approach appears satisfactory. We are not approving this report or conditioning that the works shall necessarily be carried out in accordance with the report. Its purpose is to show, with the integral professional duty of care, that there is no reasonable impediment foreseeable at this stage to the scheme satisfying the Building Regulations in due course. This report will be attached for information purposes to the decision letter.

Concerns have been raised that the proposed basement extension should be restricted in terms of its extent into the garden area and beneath the listed building. The City Council has yet to adopt a formal policy on basements but in 2014 adopted its supplementary planning guidance on basement extensions. The proposed basement extension, following revisions, is considered to adhere to the requirements of the Council's SPG on basement extensions, particularly with regards to maintaining the internal hierarchy of the listed building.

Given the subterranean nature of the proposed basement extension, this will have a minimal impact on the appearance of the existing building, and the development will result in a neutral impact on the Belgravia Conservation Area.

Two storey rear extension

The proposed two storey extension is set between the closet wing extension on the application building and that on the adjoining No. 10 Gerald Road. As the lower ground floor is sunk below garden level, it will appear as a one and a half storey extension in views from surrounding buildings and therefore will not be overdominant at the rear of the building.

Permission has previously been granted for the erection of a two storey rear extension in this location therefore the principle of an extension in this location is considered acceptable. The approved design of the extension was a traditional timber style extension. The proposed extension will comprise of a frameless glazed extension. Concerns have been raised by the residential occupier to the rear that the proposed extension has an unnaturally large opening and will not be in keeping with the main building. The opening has been modified and retains a door width opening from the main rear elevation into the new extension. Whilst the approved scheme was for a traditional style extension, the proposed glazed extension is of a lightweight structure and allows the rear of the building to be read. The proposed two storey rear extension is considered to be acceptable in design terms and in line with Policies DES 5, DES 6, and supplementary planning guidance.

Demolition and rebuilding of single storey rear extension

The rebuilding of the existing modern extension at lower ground/ground floor level is not contentious and will occupy the same height and depth as the existing extension. This aspect

has also previously been approved in 2013 and is again considered acceptable in design terms.

Alterations to roof

The proposed alterations to the front section of the mansard, namely the installation of two dormer windows, have previously been approved and will improve the appearance of this part of the building.

Internal alterations

Internally, minor changes to the layout are proposed which will not affect the special interest of the building. Few historic features remain internally.

6.3 Amenity

Policies S29 of the City Plan and ENV13 of the UDP seek to protect residential amenity in terms of light, privacy, sense of enclosure and encourage development which enhances the residential environment of surrounding properties.

Light Pollution

Concerns have been raised that the proposed glazed extension will cause light pollution to neighbouring properties. The proposed extension will be set against the rear wall of the main building within an existing recessed area between the flank wall of No. 10 and the single storey extension on the application building. Due to its location and height, the proposed extension is not considered to cause material harm to the adjoining properties in terms of light pollution as the extension would be set back a sufficient distance from the windows of the adjoining properties. Furthermore, there is a similar extension at lower ground and ground floor level to the rear of 11 Chester Row which was approved in 2012.

Rebuilt single storey extension

It is proposed to rebuild the existing rear extension at lower ground and ground floor level due to the poor construction of the existing structure. The rear extension will be built to the same height and depth as the existing extension and will provide a study with French doors to access the rear garden area. In terms of amenity, as the extension occupies the same footprint as the existing extension, it is not considered that there will be a material impact on privacy or overlooking to adjoining properties.

Noise and disturbance

There will inevitably be an element of disturbance to residents, particularly during the construction phase of the proposed basement. Conditions are recommended to control the hours of building works in order to mitigate the impact on nearby residential occupiers. An Informative is also recommended to encourage the applicant to join the nationally recognised Considerate Constructors Scheme as well as keeping residents informed concerning the works.

A Construction Management Plan has been submitted as part of the application which sets out measures to mitigate against noise and disruption during construction. This is considered acceptable and can be secured by condition.

6.4 Transportation/Parking

Not applicable.

6.5 Economic Considerations

Not applicable.

6.6 Other UDP/Westminster Policy Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.7 London Plan

The proposal does not raise strategic issues.

6.8 Planning Obligations

Not applicable.

6.9 Environmental Assessment including Sustainability and Biodiversity Issues

Concern has been raised that the proposed basement would not provide enough soil depth for trees once the basement is completed. The existing rear garden area is hard landscaped. The proposal provides replacement plans and sections to show the rear garden with a minimum soil depth of 1.2m to allow for soft landscaping. The Arboricultural Manager has been consulted on the proposals and has raised no objection.

6.10 Conclusion

The proposals relating to the proposed basement and rear extensions and associated works are considered acceptable and comply with policies within the City Plan and UDP and the applications are recommended for approval as set out in the draft decision letters.

BACKGROUND PAPERS

1. Application forms.
2. Letter of authorisation from Historic England dated 20 April 2015.
3. E-mail from Building Control dated 29 April 2015.
4. Memorandum from Environmental Health Consultation Team dated 29 April 2015.
5. Memorandum from the Highways Planning Manager received 1 August 2015.
6. Memorandum from the Arboricultural Manager dated 7 August 2015.
7. E-mail from the occupier of 11 Chester Row dated 28 April 2015.
8. E-mail from the occupier of 20 Gerald Road dated 29 April 2015.
9. E-mail from the occupier of 21 South Eaton Place dated 30 April 2015.
10. E-mail from the occupier of 4 Gerald Road dated 30 April 2015.
11. Letter and e-mail from the occupier of 14 Gerald Road dated 1 May 2015 and 12 May 2015.
12. E-mail from the occupier of 6 Gerald Road dated 4 May 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT AMANDA JACKSON ON 020 7641 2934 OR BY E-MAIL – ajackson@westminster.gov.uk

DRAFT DECISION LETTER

Address: 12 Gerald Road, London, SW1W 9EQ

Proposal: Excavation to create basement extension beneath dwelling and rear garden, excavation to lower front pavement vaults, demolition and rebuilding of single-storey rear extension, construction of new double-height glass conservatory extension at the rear, two new dormer windows to front roof elevation.

Plan Nos: P160- Location Plan, P160- Site Plan, P160-PL-101, P160-PL-102, P160-PL-103, P160-PL-104, P160-PL-105, P160-PL-110, P160-PL-111, P160-PL-120, P160-PL-121 Rev. A, P160-PL-122 Rev. A, P160 LA-140 Rev. D, P160 LA-141 Rev. D, P160 LA-142 Rev. B, P160 LA-143 Rev. A, P160 LA-144 Rev. A, P160 LA-145 Rev. A, P160 LA-150 Rev. A, P160 LA-151 Rev. C, P160 LA-152 Rev. C, P160 LA-160 Rev. D, P160 LA-161 Rev. D, P160 LA-162 Rev. D, Statement of Heritage Significance dated 27 February 2015, Noise level survey report dated 17 March 2015 (Ref: QF8196/PF5344/RP1(A), Design and Access Statement and Construction Management Plan dated 11 March 2015 (12GR rev 1).

For information purposes only:

Structural Engineering Notes to Support Planning Application dated June 2015. (see informative 3).

Case Officer: Zulekha Hosenally

Direct Tel. No. 020 7641 2511

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for basement excavation work, you must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

You must carry out basement excavation work only:

- * between 08.00 and 18.00 Monday to Friday; and
- * not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11BA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

- 4 You must apply to us for approval of detailed drawings of the following parts of the development: -

- glazed two storey rear extension.

You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these approved drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

- 5 You must keep to the terms of the details set out in the Construction Management Plan dated 11 March 2015 (12GR rev 1).

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007.

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 For the avoidance of doubt the Construction Management Plan required under condition 5 shall

be limited to the items listed. Other matters such as noise, vibration, dust and construction methodology will be controlled under separate consents including the Control of Pollution Act 1974 and the Building Regulations. You will need to secure all necessary approvals under these separate regimes before commencing relevant works.

- 3 This permission is based on the drawings and reports submitted by you including the structural methodology report. For the avoidance of doubt this report has not been assessed by the City Council and as a consequence we do not endorse or approve it in anyway and have included it for information purposes only. Its effect is to demonstrate that a member of the appropriate institution applying due diligence has confirmed that the works proposed are feasible without risk to neighbouring properties or the building itself. The construction itself will be subject to the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects.
- 4 Please make sure that the lighting is designed so that it does not cause any nuisance for neighbours at night. If a neighbour considers that the lighting is causing them a nuisance, they can ask us to take action to stop the nuisance (under section 102 of the Clean Neighbourhoods and Environment Act 2005). (I39AA)
- 5 Under the Highways Act 1980 you must get a licence from us before you put skips or scaffolding on the road or pavement. It is an offence to break the conditions of that licence. You may also have to send us a programme of work so that we can tell your neighbours the likely timing of building activities. For more advice, please phone our Highways Licensing Team on 020 7641 2560. (I35AA)
- 6 The rooms in the underground vaults are only considered acceptable by our Environmental Health officers on the basis that they are used in connection with the main house. If used as separate living accommodation (e.g. for staff accommodation) the lack of sufficient natural light and reasonable views would mean the proposal fails the Housing Health and Safety Rating System - Housing Act 2004.

Additionally the conversion of vault areas for human habitation is not normally recommended because of the low headroom, potential damp problems and 'remote room' issues. The potential for rising dampness (from the ground) and penetrating dampness (from the entrance slab above) together with condensation due to lack of through ventilation is great. Experience has shown that despite thorough "tanking" (complete damp proofing) of vaults, the integrity of the tanking can be damaged by nails/screws etc. New techniques, such as 'Delta membrane', may be more appropriate as alternatives to traditional 'tanking' methods.

You are recommended to seek advice from our Environmental Health Department on appropriate damp proof treatment and ventilation (including additional mechanical ventilation as necessary). However, any works that affect the external appearance may require a further planning permission. For further advice, please contact:

Residential Environmental Health Team
4th Floor East, Westminster City Hall
64 Victoria Street
London SW1E 6QP
Website www.westminster.gov.uk
Email res@westminster.gov.uk
Tel : 020 7641 3003 Fax : 020 7641 8504

DRAFT DECISION LETTER

Address: 12 Gerald Road, London, SW1W 9EQ

Proposal: Excavation to create basement extension beneath dwelling and rear garden, excavation to lower front pavement vaults, demolition and rebuild of single-storey rear extension, construction of new double-height glass conservatory extension at the rear, two new dormer windows to front roof elevation and internal alterations.

Plan Nos: P160- Location Plan, P160- Site Plan, P160-PL-101, P160-PL-102, P160-PL-103, P160-PL-104, P160-PL-105, P160-PL-110, P160-PL-111, P160-PL-120, P160-PL-121 Rev. A, P160-PL-122 Rev. A, P160 LA-140 Rev. D, P160 LA-141 Rev. D, P160 LA-142 Rev. B, P160 LA-143 Rev. A, P160 LA-144 Rev. A, P160 LA-145 Rev. A, P160 LA-150 Rev. A, P160 LA-151 Rev. C, P160 LA-152 Rev. C, P160 LA-160 Rev. D, P160 LA-161 Rev. D, P160 LA-162 Rev. D, Statement of Heritage Significance dated 27 February 2015, Noise level survey report dated 17 March 2015 (Ref: QF8196/PF5344/RP1(A), Design and Access Statement and Construction Management Plan dated 11 March 2015 (12GR rev 1).

For information purposes only:

Structural Engineering Notes to Support Planning Application dated June 2015. (see informative 3).

Case Officer: Zulekha Hosenally

Direct Tel. No. 020 7641 2511

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 3 You must apply to us for approval of detailed drawings of the following parts of the development: -

- glazed two storey rear extension.

You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these approved drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Belgravia Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

Informative(s):

- 1 **SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT -**
In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework March 2012, the London Plan July 2011, Westminster's City Plan: Strategic Policies adopted November 2013, and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations.

The City Council decided that the proposed works would not harm the character of this building of special architectural or historic interest.

In reaching this decision the following were of particular relevance:

S25 and S28 of Westminster's City Plan: Strategic Policies and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and paragraph 2.3 and 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

- 2 You will need to contact us again if you want to carry out work on the listed building which is not referred to in your plans. This includes:

- * any extra work which is necessary after further assessments of the building's condition;
- * stripping out or structural investigations; and
- * any work needed to meet the building regulations or other forms of statutory control.

Please quote any 'TP' and 'RN' reference numbers shown on this consent when you send us further documents.

It is a criminal offence to carry out work on a listed building without our consent. Please remind your client, consultants, contractors and subcontractors of the terms and conditions of this consent. (I59AA)

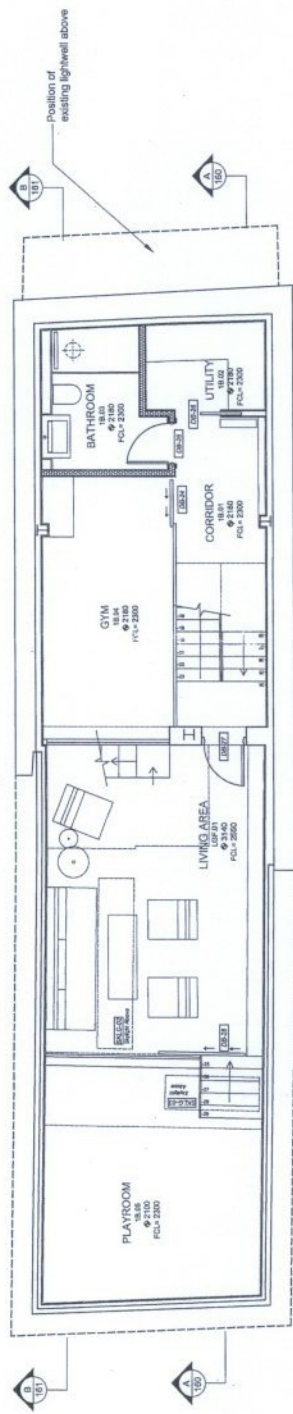
- 3 This permission is based on the drawings and reports submitted by you including the structural methodology report. For the avoidance of doubt this report has not been assessed by the City Council and as a consequence we do not endorse or approve it in anyway and have included it for information purposes only. Its effect is to demonstrate that a member of the appropriate institution applying due diligence has confirmed that the works proposed are feasible without risk to neighbouring properties or the building itself. The construction itself will be subject to the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects.

General notes

- All dimensions are to be measured as indicated on drawings unless otherwise stated.
- This drawing shall be used for construction with the exception of any notes and architects' drawings.
- Copyright in this drawing is the property of the architect and shall remain with the architect.
- This drawing is to be used for construction only. All dimensions and construction details shall be checked against the architect's drawings and specifications.
- The architect shall be responsible for the accuracy of the information provided in this drawing and shall be liable for any errors or omissions.
- This drawing is not to be used for any other purpose without the written consent of the architect.
- The architect shall be responsible for the accuracy of the information provided in this drawing and shall be liable for any errors or omissions.
- The architect shall be responsible for the accuracy of the information provided in this drawing and shall be liable for any errors or omissions.

CASE COPY

TP: _____
RN: _____
ADDRESS: _____



NO.	DATE	NAME	DESCRIPTION
D	15 JUL 15	AK	PLANNING AMENDMENTS
B	05 MAY 15	AK	PLANNING AMENDMENTS
A	28 FEB 15	AK	PLANNING

Revisions




PROJECT
 12 Gerald Road
 SW1W 9EQ
 London W1W 9EQ
 t: 020 8223 8228
 e: info@raah-huge.com

PLANNING


DRAWING TITLE	
Proposed Plan Basement	
PROJECT NO	DATE
P160	12-Nov-14
DRAWN	SCALE
PR	1:100-A3

General notes

- All dimensions are to be finished unless otherwise indicated.
- This drawing must be read in conjunction with all relevant Architect's drawings.
- Work is to be carried out in accordance with the Building Regulations.
- Copyright and intellectual property rights will remain with the Architect.
- This drawing is to be used only for the purposes stated. All information and construction details are to be confirmed with the relevant authorities.
- Work is to be carried out in accordance with the Building Regulations, current Building Bye-laws and all relevant Codes of Practice. This is to be confirmed with the relevant authorities.
- The Architect is not responsible for the design of any structure, including any structure, which is not shown on this drawing, and for any damage to any structure, which is not shown on this drawing, or for any damage to any structure, which is not shown on this drawing.
- Retention of liability is limited to the extent of the Contract and shall not be taken to be an assumption of responsibility for the Contractor or the Independent Consultant.

CASE COPY

TP: _____
RN: _____
ADDRESS: _____

NO.	DATE	DESCRIPTION	BY	CHKD.
0	06 JUL 15	AP		
1	06 JUL 15	PLANNING APPLICATION		
2	06 JUL 15	PLANNING APPLICATION		
3	06 JUL 15	PLANNING APPLICATION		
4	20 FEB 15	PLANNING APPLICATION		
5	20 FEB 15	PLANNING APPLICATION		
6	20 FEB 15	PLANNING APPLICATION		
7	20 FEB 15	PLANNING APPLICATION		
8	20 FEB 15	PLANNING APPLICATION		
9	20 FEB 15	PLANNING APPLICATION		
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17	20 FEB 15	PLANNING APPLICATION		
18	20 FEB 15	PLANNING APPLICATION		
19	20 FEB 15	PLANNING APPLICATION		
20	20 FEB 15	PLANNING APPLICATION		

Revisions

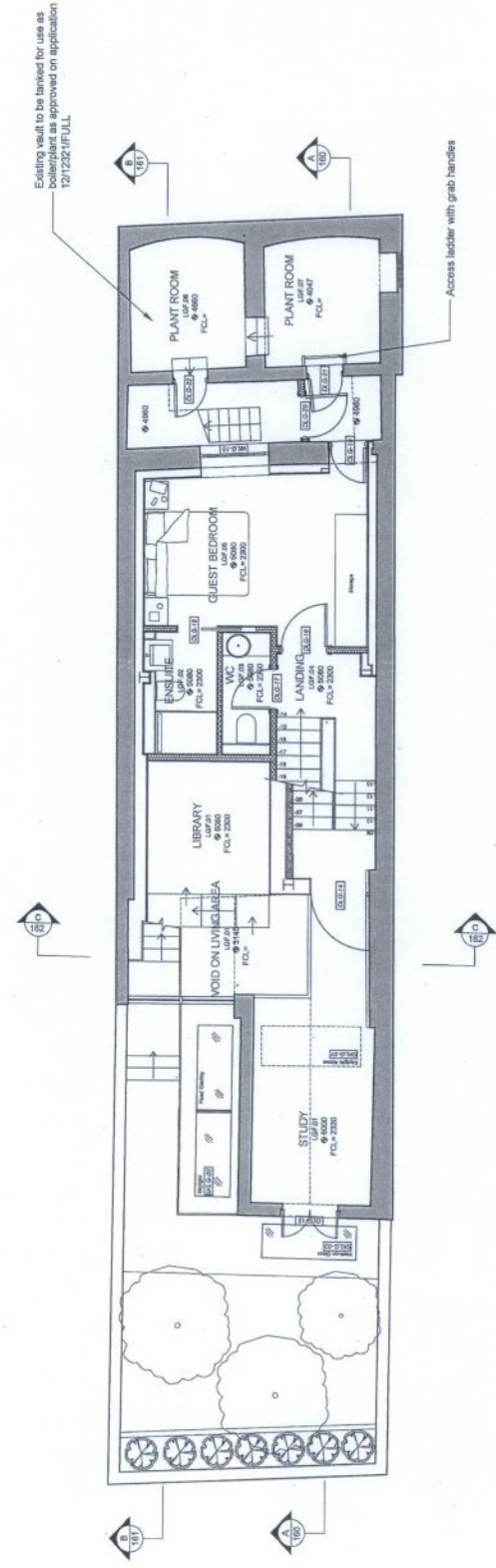


h
 12 Gerald Road
 London W1W 6EQ
 t: 020 7223 8228
 e: info@h-arch.com

PLANNING

DRAWING TITLE
**Proposed Plan
 Lower Ground Floor**

PROJECT NO.	DATE	SCALE
P160	12-Nov-14	1:100-A3
REVISION		
PR	D	



General notes

- All dimensions are to be checked on site before commencement of work. Any discrepancy should be reported immediately to the Architect.
- The Architect is not responsible for the accuracy of the information provided by the client or other third parties.
- Changes to the design should be agreed in writing with the Architect.
- Do not make any alterations to the design without the written consent of the Architect.
- Do not use any materials or workmanship which does not conform to the specifications set out in the contract documents.
- Do not use any materials or workmanship which is of inferior quality to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different type to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different colour to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different texture to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different finish to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different grade to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different type to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different colour to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different texture to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different finish to that specified in the contract documents.
- Do not use any materials or workmanship which is of a different grade to that specified in the contract documents.

CASE COPY

TP: _____
 RN: _____
 ADDRESS: _____

SCALE	A3	PLANNING APPROVALS
DATE	28 FEB 19	NAME
NO.	1	DESIGNED BY

Revisions

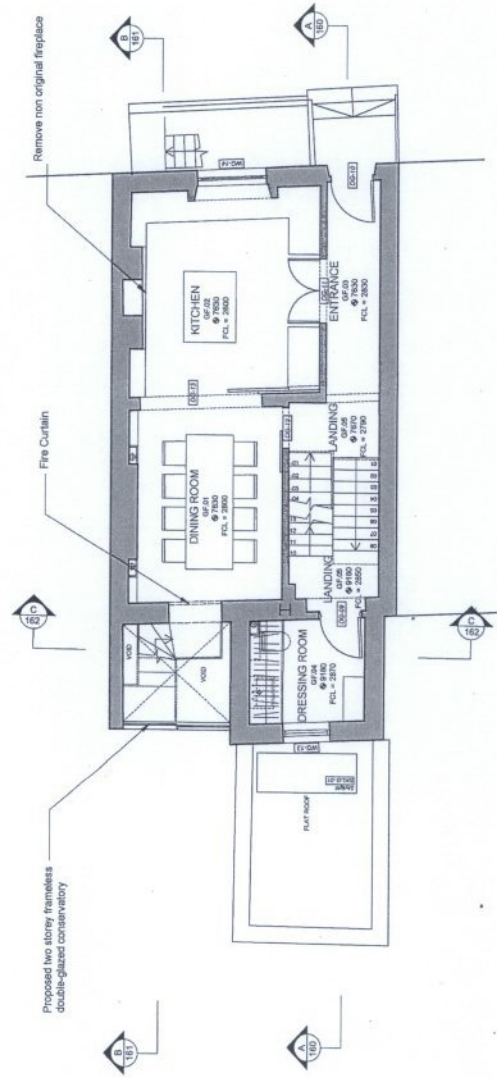


GRAPH HEDGE
 28 South Mews
 London W1W 6EA
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 Fax: 020 7222 8229
 e: info@graph-hedge.com

PROJECT
 12 Gerald Road
 SW1W 9EQ

PLANNING

DRAWING TITLE		DATE	
Proposed Plan Ground Floor		12-Nov-14	
PROJECT NO	DRAWING NO	SCALE	
P160	LA - 142	1:100-A3	
DRAWN	REVISION		
PR	B		

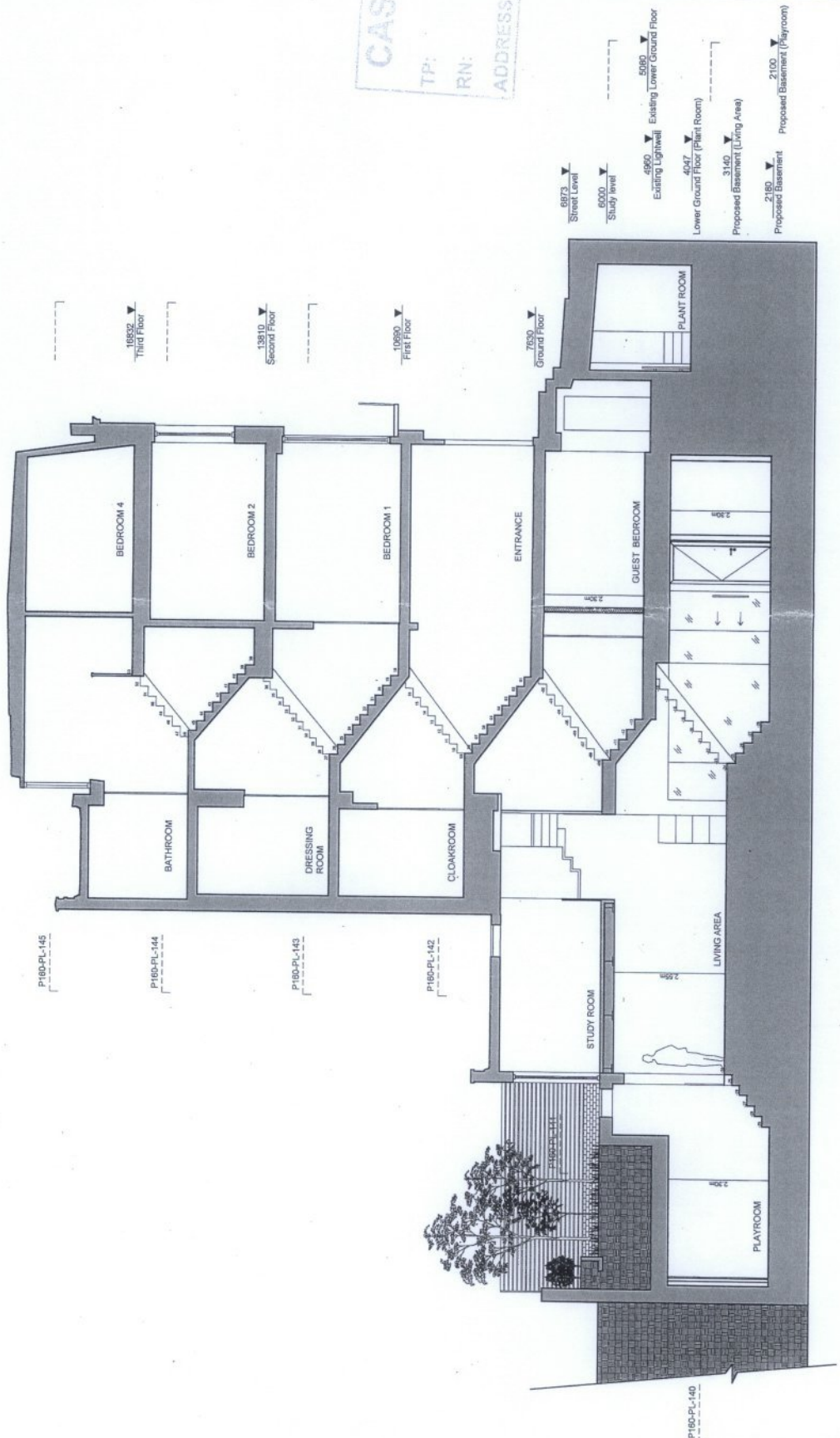


General notes

- All dimensions shall be checked on site before commencement of works. Any discrepancies shall be notified with 24hrs prior to start of works.
- Site boundaries and other considerations shall include, but not be limited to, the following:
 - Utility services
 - Existing structures and other structures
 - Existing trees and other vegetation
 - Existing roads and other infrastructure
 - Existing services and other infrastructure
- Site works shall be completed in accordance with the relevant Code of Practice and other relevant standards.
- The location of any services and other infrastructure shall be confirmed by the relevant authority before commencement of works.
- The location of any services and other infrastructure shall be confirmed by the relevant authority before commencement of works.
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RN:
ADDRESS:



NO.	DATE	NAME	REVISIONS
1	20/11/15	AP	PLANNING AGREEMENTS
2	18/11/15	AP	PLANNING AGREEMENTS
3	18/11/15	AP	PLANNING AGREEMENTS
4	27/11/15	AP	PLANNING AGREEMENTS
5	02/12/15	AP	PLANNING AGREEMENTS
6	02/12/15	AP	PLANNING AGREEMENTS
7	02/12/15	AP	PLANNING AGREEMENTS

Revisions



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PLANNING

PROPOSED TITLE	DATE
Proposed Section A - A	12-Nov-14
PROJECT NO	LA - 160
DATE	12-Nov-14
SCALE	1:100-A3
DRAWN	PR
REVISION	D

General notes

- All dimensions are to be checked on site before commencement of work. Any discrepancies should be reported to the architect immediately.
- The contractor is responsible for obtaining all necessary permissions, licenses, permits, and other approvals from the relevant authorities.
- The contractor is responsible for ensuring that all work is completed in accordance with the Building Regulations and the relevant Code of Practice.
- The contractor is responsible for ensuring that all work is completed in accordance with the relevant Code of Practice.
- The contractor is responsible for ensuring that all work is completed in accordance with the relevant Code of Practice.
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- The contractor is responsible for ensuring that all work is completed in accordance with the relevant Code of Practice.

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 ADDRESS: _____

NO. DATE DESCRIPTION

Revisions



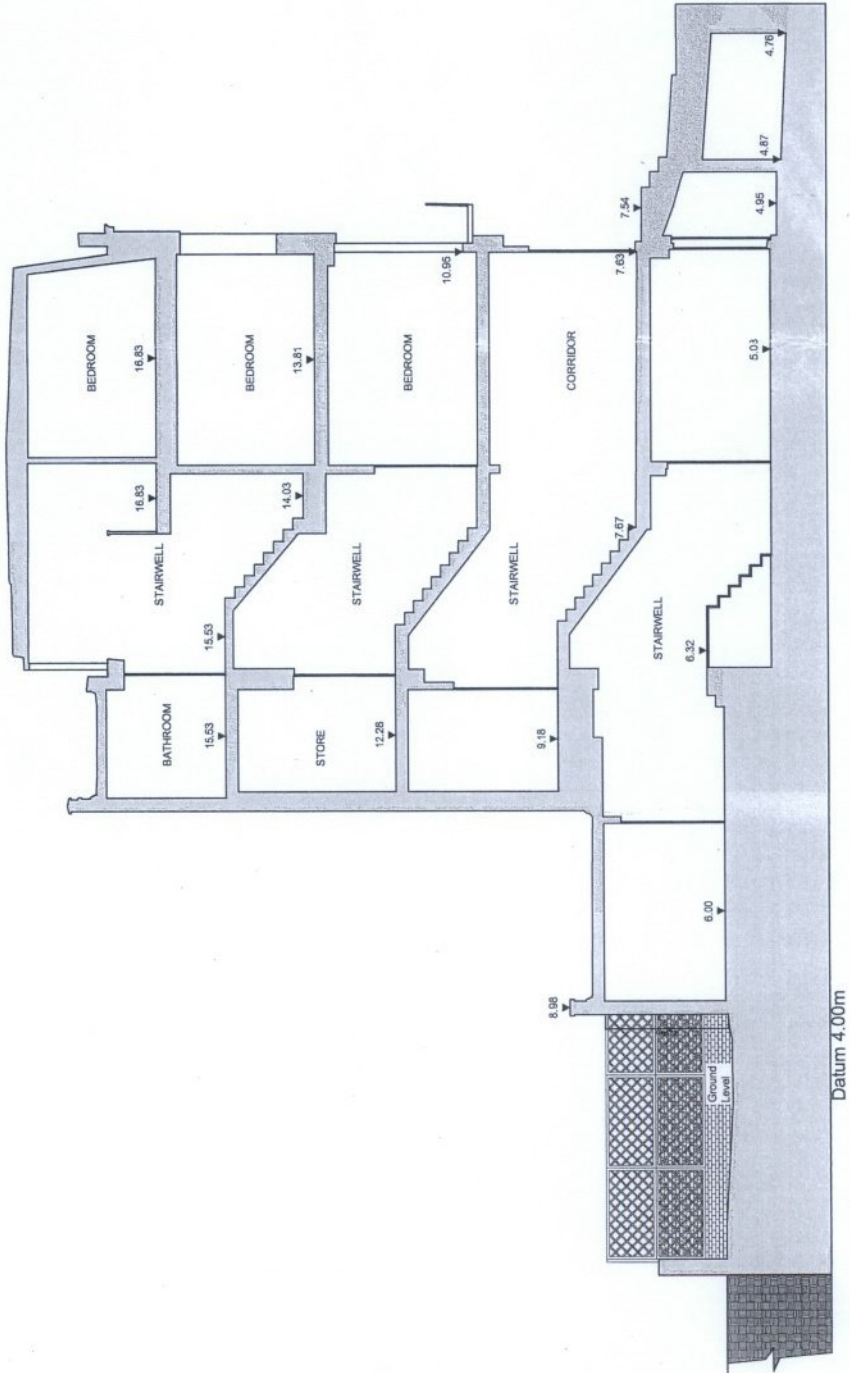
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PROJECT
 12 Gerald Road
 SW1W 9EQ

PLANNING

DRAWING TITLE
 Existing Section
 Section A - A

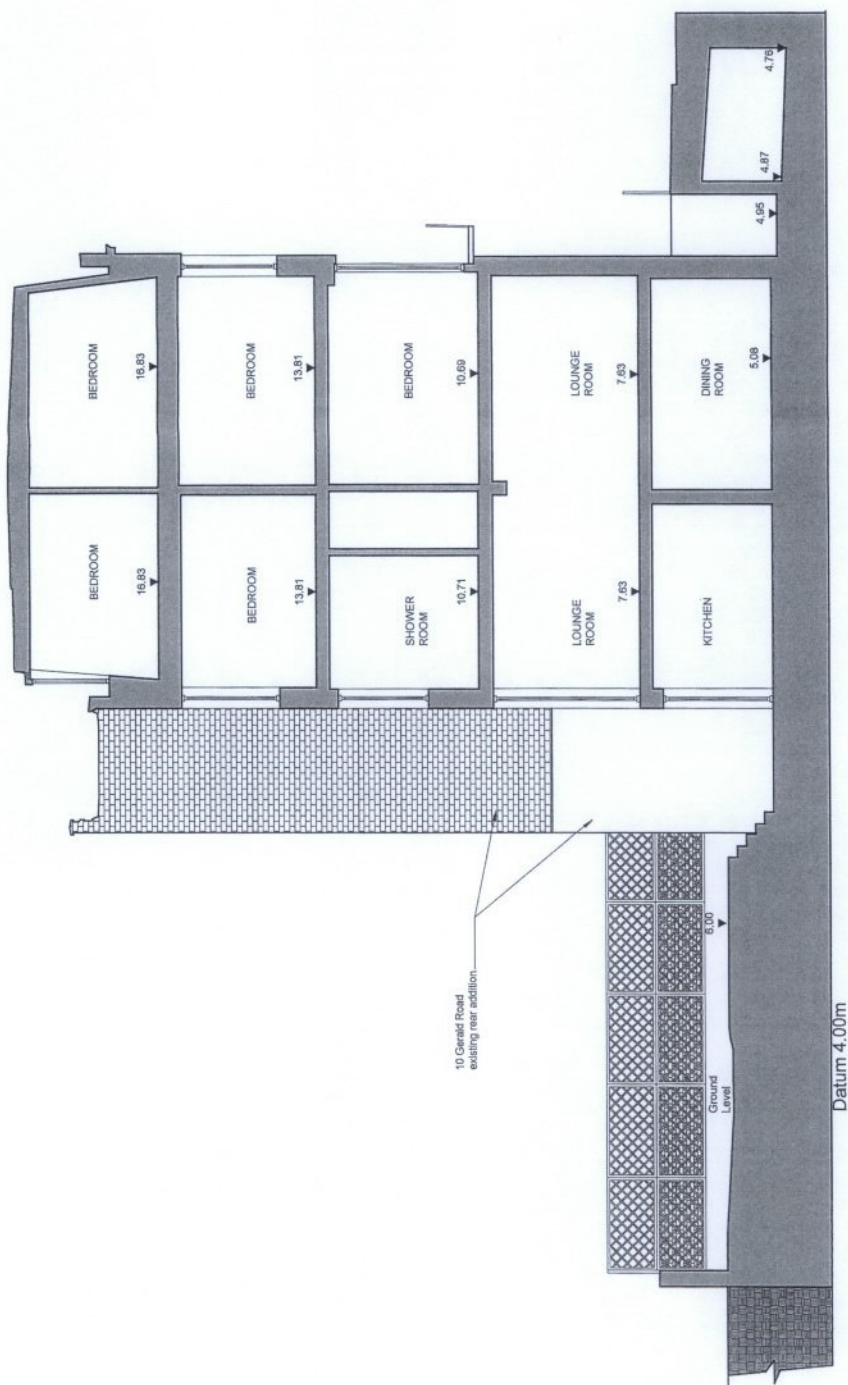
DATE	24-Feb-15
SCALE	1:100-A3
REVISION	
OWNER	PR
NUMBER	P160 - PL - 120



General notes

- All dimensions are to be verified by the contractor at the commencement of works. Any deviation must be reported to the architect immediately.
- This drawing must be read in conjunction with all relevant Architect's drawings.
- Contractors must ensure that all work is completed in accordance with the Building Regulations.
- The drawings are for general guidance only. All information and construction details must be verified with the local authorities, relevant Building Regulations and other relevant documents such as British Standards, current Building Regulations and other relevant documents.
- This drawing should be considered as a design drawing, and not a final drawing, and should not be used for any construction purposes without the written approval of the architect.
- Responsibility for the construction of the independent consultant.

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TP: _____
RN: _____
ADDRESS: _____



NO. DATE NAME REVISION/SECTION

Revisions



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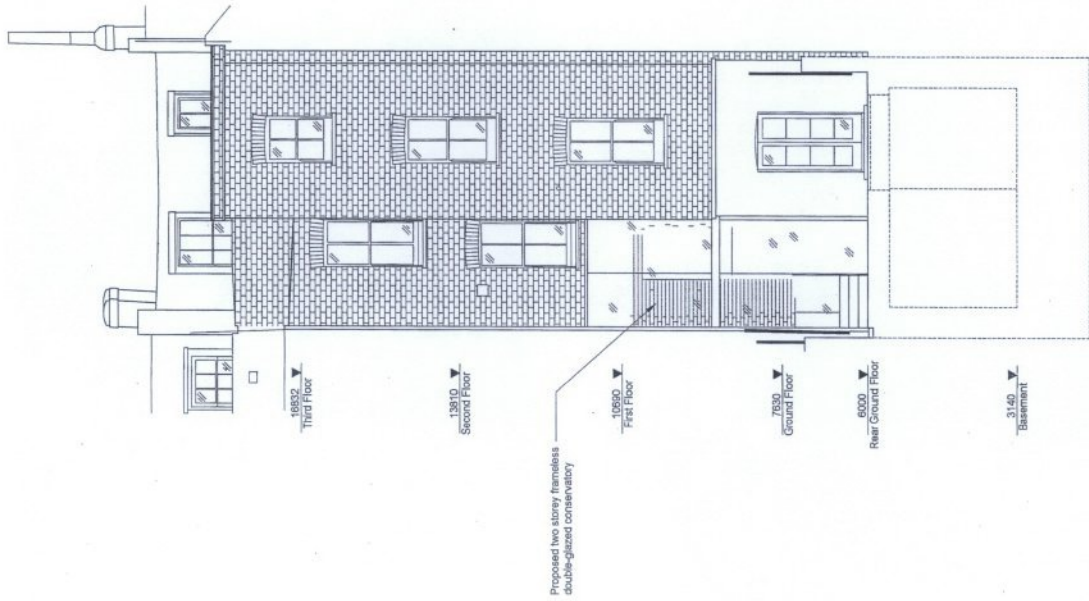
PROJECT
12 Gerald Road
SW1W 9EQ

PLANNING

DRAWING TITLE Existing Section Section B - B	
PROJECT NO P160	DATE 12-Nov-14
DRAWING NO PL - 121	SCALE 1:100-A3
DRAWN PR	REVISION A

General notes

- All drawings shall be checked by the relevant authorities of each city, any discrepancies should be noted with Tech Design Ltd.
- The drawings shall be checked against relevant architectural standards, regulations, codes and other applicable requirements.
- On approval of this set, any necessary amendments shall be made to the drawings and the drawings shall be re-submitted.
- This drawing is for information only. It is not a contract document. It is not to be used for construction or any other purpose without the written consent of Tech Design Ltd.
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NO.	DATE	NAME	REVISION
C	16 JUL 15	AP	PLANNING AMENDMENTS
B	19 JUN 15	AP	PLANNING AMENDMENTS

Revisions



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PROJECT
 12 Gerald Road
 SW1W 9EQ

PLANNING

DRAWING TITLE	
Proposed Elevation Rear Elevation	
PROJECT NO	LA - 151
DRAWING NO	12-Nov-14
DRAWN	PR
REVISION	C
SCALE	1:100-A3

General notes

- All dimensions are to be checked on site before commencement of works. Any discrepancy should be reported to the Architect immediately.
- The drawing shall be read in conjunction with all relevant Architect's drawings.
- Contractors shall be responsible for obtaining all necessary planning and building control approvals.
- Copyright and technical property remain with Higgs Ltd.
- This drawing is for guidance and design indication only. All materials and construction details shall be confirmed with the manufacturer.
- Contractors shall be responsible for ensuring that all work is carried out in accordance with the relevant Codes of Practice.
- The Architect is not responsible for any damage to existing structures or services or for any delay to the project caused by any third party.
- Information shown on this drawing is based on a site survey, as well as "stop drawings" and "stop drawings" shall be confirmed by the Contractor and returned to Higgs Ltd immediately from the Contractor or the independent consultant.

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TP:
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NO. DATE REVISION

Revisions

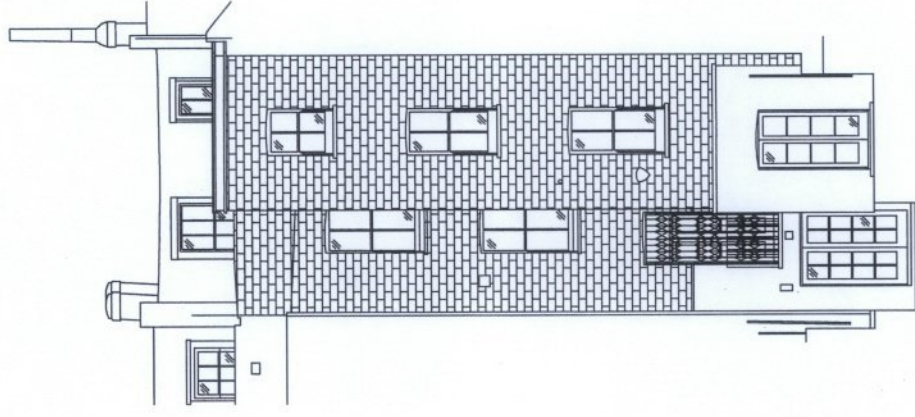


12 Gerald Road
SW1W 9EQ

PLANNING

Existing Elevation
Rear Elevation

DATE: 24-Feb-15
DRAWING NO: P160 - PL - 111
SCALE: 1:100-A3



• 1.885 Floor Level

• 1.885

• 1.885 First Floor

• 1.840 Second Floor

• 1.000 First Floor

• 1.000 Ground Floor

• 1.000 Street Level

• 1.000 Lower Ground Floor

• 1.000 Datum